

# *Sherlock Homes Inspection & Appraisal, LLC*

## Property Inspection Report



1234 Inspection Blvd, Mead, CO 80542  
Inspection prepared for: John Doe & Jane Doe  
Real Estate Agent: Jimmy Doe - Resident Realty

Date of Inspection: 1/26/2017 Time: 11:00 a.m.  
Age of Home: 8 months Size: 4865 sq. ft.  
Weather: Cloudy

Inspector: Rick Moore  
NACHI16091601  
2760 Bridle Dr., Mead, CO 80542  
Phone: 970.481.7977  
Email: rickmoore096@gmail.com  
sherlockhomesco.com



Report Summary

The summary below consists of potentially significant findings. These findings can be a safety hazard, a deficiency requiring a major expense to correct or items I would like to draw extra attention to. The summary is not a complete listing of all the findings in the report, and reflects the opinion of the inspector. Please review all pages of the report as the summary alone does not explain all of the issues. All repairs should be done by a licensed & bonded tradesman or qualified professional. I recommend obtaining a copy of all receipts, warranties and permits for the work done.

Kitchen		
Page 18 Item: 1	Cabinets	<ul style="list-style-type: none"> <li>• Some cabinet drawers need hardware repair/adjustment (to stay shut). Repair as needed.</li> <li>• Engineered wood floors are installed in the home with a few concerns on the installation. There are a few gaps in the floor and in these spots the floor has flex / bounce to it. I would recommend consulting with a licensed contractor for further evaluation and repair.</li> </ul>
Page 20 Item: 17	Floor Condition	<ul style="list-style-type: none"> <li>• Please see floor section of this report.</li> </ul>



Gap in floor creates flex / bounce on adjacent board.



Gap in floor joint.



Another gap in the floor board joint.

Heat/AC		
Page 25 Item: 7	AC Compress Condition	<ul style="list-style-type: none"> <li>• NOTE: Unit(s) not tested in the cooling mode. The AC cannot and should not be run if the ambient temperature is not above 65 degrees in the previous 24 hours, running the unit can damage the compressor. See Limitations.</li> </ul>
Garage		
Page 29 Item: 1	Roof Condition	<ul style="list-style-type: none"> <li>• The hip ridge on the east side of the garage is wavy, examination from underneath in the attic revealed poor framing and blocking of the sheathing along the hip. I would recommend consulting a licensed contractor or engineer for further evaluation.</li> </ul>
Electrical		
Page 31 Item: 1	Electrical Panel	<ul style="list-style-type: none"> <li>• Grounding / Bonding questionable at panel box. It is standard to separate the grounding and bonding bar, and they appeared to be one long bar during this inspection. I cannot imagine how it passed city inspection without this being the case, however. I would recommend at some point a licensed electrician be consulted for further consultation and evaluation.</li> </ul>
Page 31 Item: 3	Breakers in off position	<ul style="list-style-type: none"> <li>• 1</li> <li>• There is one breaker that the ground fault has thrown. I would recommend speaking with the current home owner an asking him to reset it. If it continues to fault a licensed electrician should be consulted for further evaluation.</li> </ul>
Roof		
Page 34 Item: 1	Roof Condition	<ul style="list-style-type: none"> <li>• The hip above the garage is wavy as it rises towards the ridge. It is the inspectors opinion that this is primarily due to poor instalation of the ridge caps and poor framing / blocking beneath. I do not believe this is a safety issue, I would recommend monitoring this area moving forward.</li> </ul>
Attic		
Page 38 Item: 2	Structure	<ul style="list-style-type: none"> <li>• Framing is poorly braced.</li> <li>• Split/Broken framing boards observed.</li> </ul>



There is some poor framing and cracked lumber used in the attic for the hip support



Poor framing practices, although this is not necessarily a structural issue it is just not good professional quality framing.

Exterior Areas		
Page 40 Item: 5	Exterior Paint	<ul style="list-style-type: none"> <li>• Suggest sealing/caulking as part of routine maintenance to prevent further deterioration.</li> <li>• Peeling paint observed, suggest scraping and painting as necessary.</li> </ul>



This area of Stucco at the front door appears to have been repaired improperly.

The sump pump drainage pipe needs resealed where it exits the house.



I would recommend touching up the paint in areas like this.

Grounds		
Page 45 Item: 2	Grading	<ul style="list-style-type: none"> <li>• The meter pit in the front yard is poorly planned and a safety hazard. There are extensions manufactured for the meter pits that can be installed and bring the meter lid up to grade.</li> </ul>



This meter is a safety hazard and should be repaired by a professional contractor as soon as possible. The meter can be raised with a sleeve and dirt filled in around it, there is no reason to have a trip, fall hazard such as this.

Page 46 Item: 4 Gate Condition • Gate sticks.

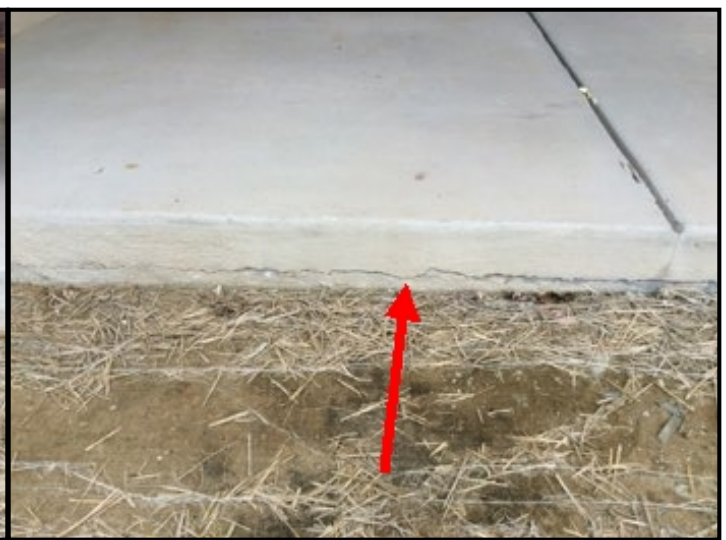


This gate sticks slightly and can be adjusted for easier opening

Page 48 Item: 15 Patio Enclosure • There is a synonymous crack around 2 sides of the back concrete patio that is of some concern. I would recommend a licensed contractor or engineer be consulted for further evaluation.



North side of the back patio. This crack is of some concern, a similar one is starting on the front concrete porch as well.



West side of the back concrete patio shows the same crack extending fully around two sides.



Continuation of the crack on the west side.

<p>Page 49 Item: 17</p>	<p>Fence Condition</p>	<ul style="list-style-type: none"> <li>• There are a few concerns to note with the fence. It is not completed correctly on the east side where it butts into the neighbor's fence. The gate post on the east gate is almost cracked all the way through. The concrete around several of the post has been poorly done. Best practice would be to bring the concrete to grade level and bevel it away from the post to keep water from sitting at the base, water held around the base of the post will accelerate rotting and deterioration of the post. There is almost a natural bowl to hold water around several of the post.</li> </ul>
-------------------------	------------------------	--



The fence is not properly tied into the neighbors corner.



This gate post on the east gate is almost cracked all the way through and should be replaced. It is also cracked on the other side.



The concrete around the post was not installed very well and creates a bowl to hold water. This will accelerate water damage / rot to the post.

Page 50 Item: 18	Sprinklers	<ul style="list-style-type: none"> <li>• Sprinkler system noted; client is advised to seek advice of a specialist in evaluating this system before use. The anti siphon valve in the picture has been repaired at least one time. The weather protective cap is missing off of it. I recommend client consult with the current home owner to see if this system was properly winterized in the fall.</li> </ul>
------------------	------------	---



The anti siphon valve has been repaired at least once in the past, and is currently missing the weather protective cap.

Floors

Page 53 Item: 2	Condition	<ul style="list-style-type: none"> <li>Engineered wood floors are installed in the home with a few concerns on the installation. There are a few gaps in the floor and in these spots the floor has flex / bounce to it. I would recommend consulting with a licensed contractor for further evaluation and repair.</li> </ul>
-----------------	-----------	--

SAMPLE REPORT



We appreciate the opportunity to conduct this inspection for you! Please carefully read your entire Inspection Report. Call us after you have reviewed your report, so we can go over any questions you may have. Remember, when the inspection is completed and the report is delivered, we are still available to you for any questions you may have, throughout the entire closing process. Properties being inspected do not "Pass" or "Fail." - The following report is based on an inspection of the visible portion of the structure; inspection may be limited by vegetation and possessions. Depending upon the age of the property, some items like GFCI outlets may not be installed; this report will focus on safety and function, not current code. This report identifies specific non-code, non-cosmetic concerns that the inspector feels may need further investigation or repair. For your safety and liability purposes, we recommend that licensed contractors evaluate and repair any critical concerns and defects. **Note that this report is a snapshot in time. We recommend that you or your representative carry out a final walk-through inspection immediately before closing to check the condition of the property, using this report as a guide.**

SAMPLE REPORT

# Inspection Details

## 1. Attendance

In Attendance: Buyer Agent present • Seller present

## 2. Home Type

Home Type: Single Family Home • Ranch Style

## 3. Occupancy

Occupancy: Occupied - Furnished • The utilities were on at the time of inspection.

SAMPLE REPORT

### Interior Areas

The Interior section covers areas of the house that are not considered part of the Bathrooms, Bedrooms, Kitchen or areas covered elsewhere in the report. Interior areas usually consist of hallways, foyer, and other open areas. Within these areas the inspector is performing a visual inspection and will report visible damage, wear and tear, and moisture problems if seen. Personal items in the structure may prevent the inspector from viewing all areas on the interior.

The inspector does not usually test for mold or other hazardous materials. A qualified expert should be consulted if you would like further testing.

#### 1. Bar

Good	Fair	Poor	N/A	None
				X

Observations:

- This house was very well kept and clean on the interior, most of the house is as good as new internally.

#### 2. Cabinets

Good	Fair	Poor	N/A	None
			X	

Observations:

- No deficiencies observed.

#### 3. Ceiling Fans

Good	Fair	Poor	N/A	None
X				

Observations:

- Operated normally when tested, at time of inspection.

#### 4. Closets

Good	Fair	Poor	N/A	None
X				

Observations:

- The closet is in serviceable condition. One of the hallway closet doors has a bent rail and is a little bumpy opening and closing. These are large doors and I would recommend having this rail repaired by a licensed contractor to prevent the door from possibly coming off the rail.



This rail on the hallway closet has a small bend in the track that should be checked.

#### 5. Door Bell

Good	Fair	Poor	N/A	None
X				

Observations:

- Operated normally when tested.

**6. Doors**

Good	Fair	Poor	N/A	None
X				

Observations:  
 • Doors are functioning as intended.

**7. Electrical**

Good	Fair	Poor	N/A	None
X				

Observations:  
 • Some outlets not accessible due to furniture and or stored personal items.  
 • The electrical system in the interior was inspected with no issues or concerns noted at the time of this inspection.

**8. Security Bars**

Good	Fair	Poor	N/A	None
				X

Observations:  
 • No security bars are present in this room.

**9. Smoke Detectors**

Good	Fair	Poor	N/A	None
X				

Observations:  
 • Operated when tested.

**10. Stairs & Handrail**

Good	Fair	Poor	N/A	None
X				

Observations:  
 • Wrought iron stair railings noted.

**11. Window-Wall AC or Heat**

Good	Fair	Poor	N/A	None
X				

Observations:  
 • No window AC / Heat unit installed.

**12. Ceiling Condition**

Good	Fair	Poor	N/A	None
X				

Materials: There are drywall ceilings noted.  
 Observations:  
 • No issues noted.

**13. Patio Doors**

Good	Fair	Poor	N/A	None
X				

Observations:  
 • The sliding patio door was functional during the inspection.

**14. Screen Doors**

Good	Fair	Poor	N/A	None
X				

Observations:  
 • Sliding door screen is functional.

**15. Wall Condition**

Good	Fair	Poor	N/A	None
X				

Materials: Drywall walls noted.  
 Observations:  
 • Some areas not accessible due to stored personal items.  
 • Walls have been recently painted.

### 16. Fireplace

Good	Fair	Poor	N/A	None
X				

Materials: Living Room

Materials: The gas fireplace supply was turned off, the homeowner was kind enough to turn it on and run the unit for us during the inspection. It appeared to be functioning as intended.

Observations:

- Functional.

### 17. Window Condition

Good	Fair	Poor	N/A	None
X				

Materials: Aluminum framed sliding window noted.

Observations:

- The windows were inspected and all operated as intended at the time of this inspection.

SAMPLE REPORT

Bedrooms

The main area of inspection in the bedrooms is the structural system. This means that all walls, ceilings and floors will be inspected. Doors and windows will also be investigated for damage and normal operation. Personal items in the bedroom may prevent all areas to be inspected as the inspector will not move personal items.

1. Locations

Locations: Master#1 • North side of main floor

2. Cabinets

Good	Fair	Poor	N/A	None
X				

Observations:  
• No deficiencies observed.

3. Ceiling Fans

Good	Fair	Poor	N/A	None
X				

Observations:  
• Operated normally when tested, at time of inspection.

4. Closets

Good	Fair	Poor	N/A	None
X				

Observations:  
• The closet is in serviceable condition.

5. Doors

Good	Fair	Poor	N/A	None
X				

Observations:  
• Doors to the bedrooms were all functioning as intended.

6. Electrical

Good	Fair	Poor	N/A	None
X				

Observations:  
• No concerns or issues noted.

7. Fireplace

Good	Fair	Poor	N/A	None
X				

Materials: Living Room  
Materials: Gas fireplace.  
Observations:  
• The gas fireplace was inspected including the flue, operated with no issues or concerns noted at the time of this inspection.

8. Floor Condition

Good	Fair	Poor	N/A	None
X				

Flooring Types: Carpeting was observed in the bedrooms with no issues or concerns noted.  
Observations:  
• No issues or concerns were noted at the time of this inspection.

9. Security Bars

Good	Fair	Poor	N/A	None
				X

Observations:  
• No security bars are present in this room.

10. Smoke Detectors

Good	Fair	Poor	N/A	None
X				

Observations:  
• There are smoke detectors hard wired in and connected to each other, they appeared functioning as intended at the time of this inspection. They were not tested as this falls outside the scope of the inspection.

11. Wall Condition

Good	Fair	Poor	N/A	None
X				

Materials: Drywall wall noted.

Observations:

- No issues with the drywall noted.

12. Window-Wall AC or Heat

Good	Fair	Poor	N/A	None
			X	X

Observations:

- No window heat or AC unit was installed in the home at the time of this inspection.

13. Window Condition

Good	Fair	Poor	N/A	None
X				

Materials: Vinyl framed sliding window noted.

Observations:

- The windows in the bathrooms were inspected and operated with no issues or concerns noted.

14. Ceiling Condition

Good	Fair	Poor	N/A	None
X				

Materials: There are drywall ceilings noted.

Observations:

- The drywall is patched in areas. The reason for the patch could not be determined.

15. Patio Doors

Good	Fair	Poor	N/A	None
			X	

Observations:

- There are no patio doors present in this room.

16. Screen Doors

Good	Fair	Poor	N/A	None
			X	

Observations:

- N/A

SAMPLE REPORT

### Bathroom

Bathrooms can consist of many features from jacuzzi tubs and showers to toilets and bidets. Because of all the plumbing involved it is an important area of the house to look over. Moisture in the air and leaks can cause mildew, wallpaper and paint to peel, and other problems. The home inspector will identify as many issues as possible but some problems may be undetectable due to problems within the walls or under the flooring..

#### 1. Locations

Locations: Master Bathroom • Main Floor Bathroom • Half bathroom

#### 2. Cabinets

Good	Fair	Poor	N/A	None
X				

Observations:  
 • No deficiencies observed.

#### 3. Ceiling Condition

Good	Fair	Poor	N/A	None
X				

Materials: There are drywall ceilings noted.  
 Observations:  
 • The drywall was inspected with no issues or concerns noted.

#### 4. Counters

Good	Fair	Poor	N/A	None
X				

Observations:  
 • Granite tops noted.  
 • No discrepancies noted.

#### 5. Doors

Good	Fair	Poor	N/A	None
X				

Observations:  
 • No major system safety or function concerns noted at time of inspection.

#### 6. Electrical

Good	Fair	Poor	N/A	None
X				

Observations:  
 • No major system safety or function concerns noted at time of inspection.

#### 7. GFCI

Good	Fair	Poor	N/A	None
X				

Observations:  
 • **GFCI** in place and operational

#### 8. Exhaust Fan

Good	Fair	Poor	N/A	None
X				

Observations:  
 • The bathroom fans were operated and no issues were found.

#### 9. Floor Condition

Good	Fair	Poor	N/A	None
X				

Materials: Ceramic tile is noted.  
 Observations:  
 • The floors appeared to be functioning as intended with no issues or concerns noted.

#### 10. Heating

Good	Fair	Poor	N/A	None
X				

Observations:  
 • Central heating and cooling noted in this room. At the time of the inspection, all appeared to be functioning and in serviceable condition.



11. Mirrors

Good	Fair	Poor	N/A	None
X				

Observations:  
 • The mirror are well hung and functioning as intended.

12. Plumbing

Good	Fair	Poor	N/A	None
X				

Observations:  
 • Functional flow, functional drainage was checked in all bathrooms and appeared to be working as intended. All sinks were checked for leaks with no concerns or issues noted at the time of this inspection.

13. Security Bars

Good	Fair	Poor	N/A	None
				X

Observations:  
 • Security bars were not present in the bathrooms.

14. Showers

Good	Fair	Poor	N/A	None
X				



Some mildew can be seen in this corner and should be easily cleaned out.



A small pocket of mildew can be seen here on the other side of the door as well.

15. Shower Walls

Good	Fair	Poor	N/A	None
X				

Observations:  
 • Ceramic tile noted.

16. Bath Tubs

Good	Fair	Poor	N/A	None
X				

Observations:  
 • Tub  
 • Whirlpool

17. Enclosure

Good	Fair	Poor	N/A	None
X				

Observations:  
 • The shower enclosures were functional at the time of the inspection.

**18. Sinks**

Good	Fair	Poor	N/A	None
X				

Observations:  
 • No deficiencies observed.

**19. Toilets**

Good	Fair	Poor	N/A	None
X				

Observations:  
 • Observed as functional and in good visual condition.  
 • Operated when tested. No deficiencies noted. One of the toilets in the home was damaged when the tank cover slipped out of my hand and chipped the top of the bowl. This toilet was immediately replaced at my cost and has a brand new unit now. Thank you to the sellers realtor Bryce Burkhardt for his help and understanding in this matter.

**20. Window Condition**

Good	Fair	Poor	N/A	None
X				

Materials: Vinyl framed fixed window noted.  
 Observations:  
 • Shower area's are a poor location for a window, recommend remodel due to potential issues in the future. A licensed contractor should be consulted for further evaluation and cost.

SAMPLE REPORT

### Kitchen

The kitchen is used for food preparation and often for entertainment. Kitchens typically include a stove, dishwasher, sink and other appliances.

#### 1. Cabinets

Good	Fair	Poor	N/A	None
	X			

**Observations:**

- Appeared functional at time of inspection.
- **Some cabinet drawers need hardware repair/adjustment (to stay shut). Repair as needed.**
- **Engineered wood floors are installed in the home with a few concerns on the installation. There are a few gaps in the floor and in these spots the floor has flex / bounce to it. I would recommend consulting with a licensed contractor for further evaluation and repair.**



This cabinet did not shut correctly and needs a slight adjustment.

#### 2. Counters

Good	Fair	Poor	N/A	None
X				

**Observations:**

- Granite tops noted are in excellent shape, very clean and well sealed.

#### 3. Dishwasher

Good	Fair	Poor	N/A	None
			X	

**Observations:**

- The dishwasher was not operated as I could not view the drain line under the sink. The kitchen sink was full of personal items, plastic bags. We do not move personal items, not matter how trivial. The bags were stacked in an odd way covering the garbage disposal, P-trap, water shut offs, and dishwasher drain. I would recommend having the homeowner move these items and inspecting this area further for problems.

#### 4. Doors

Good	Fair	Poor	N/A	None
X				

**Observations:**

- No major system safety or function concerns noted at time of inspection.

#### 5. Garbage Disposal

Good	Fair	Poor	N/A	None
X				

**Observations:**

- Operated - appeared functional at time of inspection. I could not view the unit though as it was covered by plastic bags stacked up in front of it.

6. Microwave

Good	Fair	Poor	N/A	None
X				

Observations:

- Built-in microwave ovens are tested using normal operating controls. Unit was tested and appeared to be serviceable at time of inspection. Leak and/or efficiency testing is beyond the scope of this inspection. If concerned, client should seek further review by qualified technician prior to closing.

7. Cook top condition

Good	Fair	Poor	N/A	None
X				

Observations:

- Electric cook top noted.
- All heating elements operated when tested.

8. Oven & Range

Good	Fair	Poor	N/A	None
X				

Observations:

- Oven: Electric radiant heating coils or infrared halogen.
- All heating elements operated when tested.

9. Sinks

Good	Fair	Poor	N/A	None
X				

Observations:

- No deficiencies observed.
- The drains were re-inspected with no issues or concerns noted.

10. Drinking Fountain

Good	Fair	Poor	N/A	None
			X	X

Observations:

- There was no drinking fountain present in this kitchen.

11. Spray Wand

Good	Fair	Poor	N/A	None
X				

Observations:

- The spray wand was operated and was functional.

12. Hot Water Dispenser

Good	Fair	Poor	N/A	None
			X	X

13. Soap Dispenser

Good	Fair	Poor	N/A	None
		X		

Observations:

- The soap dispenser did not operate.

14. Trash Compactor

Good	Fair	Poor	N/A	None
				X

Observations:

- No compactor installed.

15. Vent Condition

Good	Fair	Poor	N/A	None
X				

Materials: Recirculating

Observations:

- Vent fan is working as intended.

16. Window Condition

Good	Fair	Poor	N/A	None
X				

Materials: Vinyl framed sliding window noted.

Observations:

- The windows that were tested, are functional.

17. Floor Condition

Good	Fair	Poor	N/A	None
	X			

Materials: Floating laminate type flooring noted.

Observations:

- Please see floor section of this report.



Gap in floor creates flex / bounce on adjacent board.



Gap in floor joint.



Another gap in the floor board joint.

18. Plumbing

Good	Fair	Poor	N/A	None
			X	

Observations:

- Limited review due to personal property stored in undersink cabinet.
- No issues were noted with the visually inspected components.

19. Ceiling Condition

Good	Fair	Poor	N/A	None
X				

Materials: There are drywall ceilings noted.

Observations:

- No concerns noted.

20. Security Bars

Good	Fair	Poor	N/A	None
				X

Observations:

- No security bars are present in this room.

21. Patio Doors

Good	Fair	Poor	N/A	None
X				

Observations:  
 • **\*\*Sliding Patio Doors\*\***

22. Screen Doors

Good	Fair	Poor	N/A	None
X				

Observations:  
 • Sliding door and screen are functional.

23. Electrical

Good	Fair	Poor	N/A	None
X				

Observations:  
 • No major system safety or function concerns noted at time of inspection.

24. GFCI

Good	Fair	Poor	N/A	None
X				

Observations:  
 • GFCI in place and operational.

25. Wall Condition

Good	Fair	Poor	N/A	None
X				

Materials: Drywall walls noted.  
 Observations:  
 • The walls were inspected with no issues or concerns noted at the time of this inspection.

SAMPLE REPORT

Laundry

1. Locations

Locations: South

2. Cabinets

Good	Fair	Poor	N/A	None
X				

Observations:  
 • No deficiencies observed.

3. Counters

Good	Fair	Poor	N/A	None
				X

Observations:  
 • No counter tops noted.

4. Dryer Vent

Good	Fair	Poor	N/A	None
X				

Observations:  
 • Could not fully inspect the dryer vent, as it is behind the unit. I was able to look over the top and it appeared to be functioning as intended. I did not notice extra lint built up, this usually is a good indication that the dryer vent is functioning.

5. Electrical

Good	Fair	Poor	N/A	None
X				

Observations:  
 • Some outlets not accessible due to furniture and or stored personal items.

6. GFCI

Good	Fair	Poor	N/A	None
X				

Observations:  
 • GFCI in place and operational

7. Exhaust Fan

Good	Fair	Poor	N/A	None
				X

Observations:  
 • The exhaust fan was operated and no issues were found.

8. Gas Valves

Good	Fair	Poor	N/A	None
			X	

Observations:  
 • None visible.  
 • No gas present.

9. Wash Basin

Good	Fair	Poor	N/A	None
			X	

Observations:  
 • No wash basin in the laundry room.

10. Floor Condition

Good	Fair	Poor	N/A	None
X				

Materials: Carpet is noted.  
 Observations:  
 • The floors appeared in serviceable condition.

11. Plumbing

Good	Fair	Poor	N/A	None
X				

Observations:  
 • Some not accessible.  
 • Most not accessible due to personal items.

### 12. Wall Condition

Good	Fair	Poor	N/A	None
X				

Materials: Drywall wall noted.

Observations:

- Some areas not accessible due to stored personal items.

### 13. Ceiling Condition

Good	Fair	Poor	N/A	None
X				

Materials: There are drywall ceilings noted.

Observations:

- No issues noted.

### 14. Security Bars

Good	Fair	Poor	N/A	None
				X

Observations:

- No security bars are present in this room.

### 15. Doors

Good	Fair	Poor	N/A	None
X				

Observations:

- No major system safety or function concerns noted at time of inspection.

### 16. Window Condition

Good	Fair	Poor	N/A	None
				X

Observations:

- No window in the laundry room.

SAMPLE REPORT



### Heat/AC

The heating, ventilation, and air conditioning and cooling system (often referred to as HVAC) is the climate control system for the structure. The goal of these systems is to keep the occupants at a comfortable level while maintaining indoor air quality, ventilation while keeping maintenance costs at a minimum. The HVAC system is usually powered by electricity and natural gas, but can also be powered by other sources such as butane, oil, propane, solar panels, or wood.

The inspector will usually test the heating and air conditioner using the thermostat or other controls. For a more thorough investigation of the system please contact a licensed HVAC service person.

#### 1. Heater Condition

Good	Fair	Poor	N/A	None
X				

Materials: The furnace is located in the basement • The furnace is located in the family room

Materials: Gas fired forced hot air. 110,000 BTU in / 89,000 BTU out

Observations:

- Fuel Furnace: Last service date is unable to be determined, I would recommend speaking to the current home owner about service schedules. Although this unit appears to be operating properly from controls, there are areas which cannot be seen without specialized equipment and training. One such area is the combustion chamber / heat exchanger where cold air blows across the "fire box", becoming the hot air that circulates throughout your home. During the life span of any furnace, this metal wall may develop a crack or a broken weld, allowing carbon monoxide to circulate throughout the home. This is why furnace specialists recommend a complete inspection annually; consider having unit inspected by certified HVAC technician.



Furnace ignited correctly and ran as intended with a nice crisp blue flame.

#### 2. Heater Base

Good	Fair	Poor	N/A	None
X				

Observations:

- The heater base appears to be functional.

#### 3. Enclosure

Good	Fair	Poor	N/A	None
X				

Observations:

- Concealed due to high efficiency furnace design.

#### 4. Venting

Good	Fair	Poor	N/A	None
X				

Observations:  
 • Metal single wall chimney vent pipe noted.

#### 5. Gas Valves

Good	Fair	Poor	N/A	None
X				

Observations:  
 • Gas shut off valves were present and appeared functional. However, testing this valve falls outside the scope of this inspection.

#### 6. Refrigerant Lines

Good	Fair	Poor	N/A	None
X				

Observations:  
 • No defects found.

#### 7. AC Compress Condition

Good	Fair	Poor	N/A	None
			X	

Compressor Type: Gas  
 Location: The compressor is located on the exterior grounds.  
 Observations:  
 • **NOTE: Unit(s) not tested in the cooling mode. The AC cannot and should not be run if the ambient temperature is not above 65 degrees in the previous 24 hours, running the unit can damage the compressor. See Limitations.**

#### 8. Air Supply

Good	Fair	Poor	N/A	None
X				

Observations:  
 • The return air supply system appears to be functional.

#### 9. Registers

Good	Fair	Poor	N/A	None
X				

Observations:  
 • The return air supply system appears to be functional.

#### 10. Filters

Good	Fair	Poor	N/A	None
X				

Location: Located inside heater cabinet.  
 Observations:  
 • **MAINTENANCE:** The air filter(s) should be inspected at least monthly and cleaned or replaced as required. There are two types of filters commonly used: (1) Washable filters, (constructed of aluminum mesh, foam, or reinforced fibers) these may be cleaned by soaking in mild detergent and rinsing with water. Or (2) Fiberglass disposable filters that must be **REPLACED** before they become clogged. Remember that dirty filters are the most common cause of inadequate heating or cooling performance.

#### 11. Thermostats

Good	Fair	Poor	N/A	None
X				

Observations:  
 • Location: Upstairs in main living space.

### Water Heater

#### 1. Base

Good	Fair	Poor	N/A	None
X				

Observations:  
 • The water heater base is functional.

#### 2. Heater Enclosure

Good	Fair	Poor	N/A	None
X				

Observations:  
 • The water heater enclosure is functional.

#### 3. Combustion

Good	Fair	Poor	N/A	None
X				

Observations:  
 • The combustion chamber appears to in functional condition.

#### 4. Venting

Good	Fair	Poor	N/A	None
X				

Observations:  
 • Appeared functional.

#### 5. Water Heater Condition

Good	Fair	Poor	N/A	None
X				

Heater Type: Gas  
 Location: The heater is located in the basement.  
 Observations:  
 • Tank appears to be in satisfactory condition -- no concerns.  
 • No major system safety or function concerns noted at time of inspection.



How water heater

#### 6. TPRV

Good	Fair	Poor	N/A	None
X				

Observations:  
 • Appears to be in satisfactory condition and is plumbed correctly to the floor drain -- no concerns.



TPR valve is correctly installed and plumbed to the floor drain.

**7. Number Of Gallons**

Good	Fair	Poor	N/A	None
X				

Observations:  
 • 50 gallons

**8. Gas Valve**

Good	Fair	Poor	N/A	None
X				

Observations:  
 • Appears functional, however testing of these valves falls outside the scope of this inspection.



The water heater appears in good condition. Gas feed shut off is located at yellow arrow.

**9. Plumbing**

Good	Fair	Poor	N/A	None
X				

Materials: Copper • Aquapex  
 Observations:  
 • No deficiencies observed at the visible portions of the supply piping.

**10. Overflow Condition**

Good	Fair	Poor	N/A	None
X				

Materials: Copper  
 Observations:  
 • Appears to be in satisfactory condition -- no concerns.

### 11. Strapping

Good	Fair	Poor	N/A	None
			X	X

Observations:

- The water heater is not strapped, however strapping is not required in this area.

SAMPLE REPORT

Garage

1. Roof Condition

Good	Fair	Poor	N/A	None
X				

Materials: Roofing is the same as main structure. • The roof was fully inspected with a drone.  
 Materials: Asphalt shingles noted.  
 Observations:  
 • No major system safety or function concerns noted at time of inspection. For the most part the roof looked in good condition and functioning as intended at the time of this inspection, except at noted.  
 • The hip ridge on the east side of the garage is wavy, examination from underneath in the attic revealed poor framing and blocking of the sheathing along the hip. I would recommend consulting a licensed contractor or engineer for further evaluation.

2. Walls

Good	Fair	Poor	N/A	None
X				

Observations:  
 • Appeared satisfactory, at time of inspection.

3. Anchor Bolts

Good	Fair	Poor	N/A	None
X				

Observations:  
 • The anchor bolts were inspected and appear to be serviceable.

4. Floor Condition

Good	Fair	Poor	N/A	None
X				

Materials: Bare concrete floors noted.  
 Observations:  
 • No issues or concerns noted.

5. Rafters & Ceiling

Good	Fair	Poor	N/A	None
X				

Observations:  
 • Engineered wood roof truss framing noted.

6. Electrical

Good	Fair	Poor	N/A	None
X				

Observations:  
 • No issues or concerns noted.

7. GFCI

Good	Fair	Poor	N/A	None
X				

Observations:  
 • GFCI in place and operational

8. 240 Volt

Good	Fair	Poor	N/A	None
				X

Observations:  
 • There are no 240 volt outlets visible in this room. However, much of the single car bay was inaccessible because of stored personal items.

9. Exterior Door

Good	Fair	Poor	N/A	None
X				

Observations:  
 • Garage-house door properly closes automatically. This is to act as a fire stop, and keeps exhaust fumes out. It also appears to be a proper fire rated door as required by current code.

**10. Fire Door**

Good	Fair	Poor	N/A	None
X				

Observations:  
 • Appeared satisfactory and functional, at time of inspection.

**11. Garage Door Condition**

Good	Fair	Poor	N/A	None
X				

Materials: Roll-up door noted.  
 Observations:  
 • No deficiencies observed.

**12. Garage Door Parts**

Good	Fair	Poor	N/A	None
X				

Observations:  
 • The garage door appeared functional during the inspection.

**13. Garage Opener Status**

Good	Fair	Poor	N/A	None
X				

Observations:  
 • Chain drive opener noted.

**14. Garage Door's Reverse Status**

Good	Fair	Poor	N/A	None
X				

Observations:  
 • Garage vehicle door auto reverse is operable, and the motion sensors are also working as intended. At the time of this inspection the vehicle doors were both functioning as intended.

**15. Ventilation**

Good	Fair	Poor	N/A	None
X				

Observations:  
 • Under eave soffit inlet vents noted.  
 • Ridge exhaust venting noted.

**16. Vent Screens**

Good	Fair	Poor	N/A	None
X				

Observations:  
 • Vent screens noted as functional.

**17. Cabinets**

Good	Fair	Poor	N/A	None
			X	

Observations:  
 • No cabinets noted in the garage area.

**18. Counters**

Good	Fair	Poor	N/A	None
			X	

Observations:  
 • No counters noted in the garage area.

**19. Wash Basin**

Good	Fair	Poor	N/A	None
				X

Observations:  
 • No wash basin installed in the garage area.

Electrical

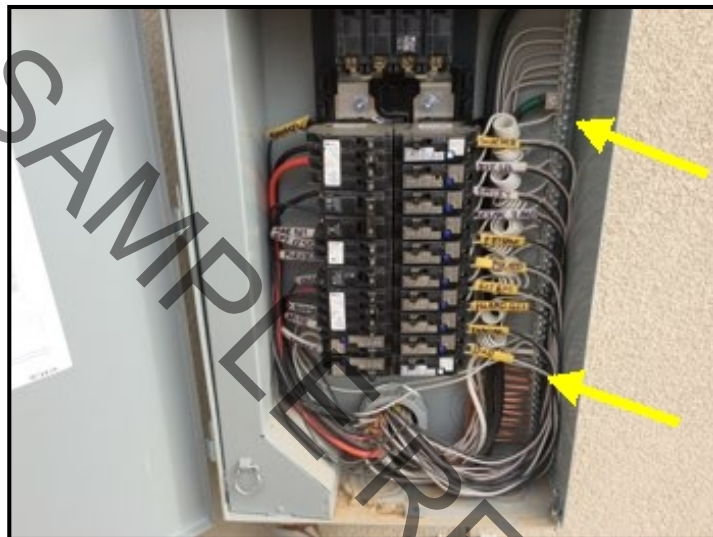
1. Electrical Panel

Good	Fair	Poor	N/A	None
X				

Location: Main Location: • Main Disconnect in panel box. • West side of the house.

Observations:

- No major system safety or function concerns noted at time of inspection at main panel box.
- **Grounding / Bonding questionable at panel box. It is standard to separate the grounding and bonding bar, and they appeared to be one long bar during this inspection. I cannot imagine how it passed city inspection without this being the case, however. I would recommend at some point a licensed electrician be consulted for further consultation and evaluation.**



The bonding and grounding bar appear to be connected.

2. Main Amp Breaker

Good	Fair	Poor	N/A	None
X				

Observations:

- 200 amp
- 200 amp

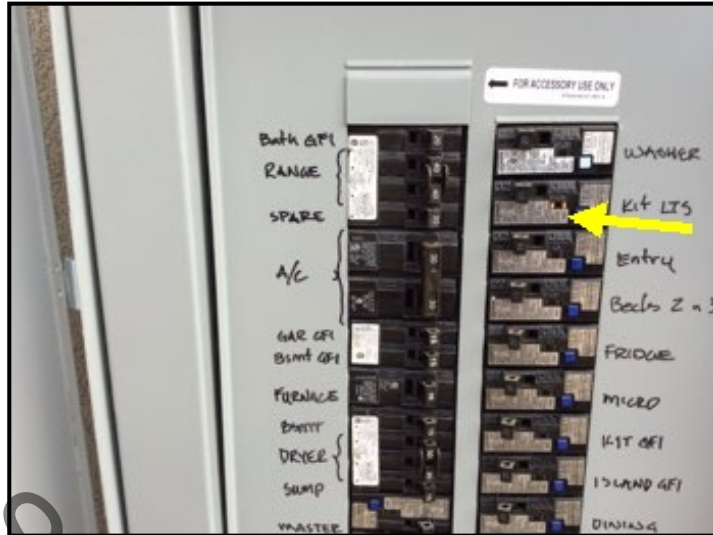
3. Breakers in off position

Good	Fair	Poor	N/A	None
	X			

Observations:

- 1
- **There is one breaker that the ground fault has thrown. I would recommend speaking with the current home owner an asking him to reset it. If it continues to fault a licensed electrician should be consulted for further evaluation.**





Breakers all properly labeled with the main electrical shut off just above .

4. Cable Feeds

Good	Fair	Poor	N/A	None
X				

Observations:

- There is an underground service lateral noted.



Main cable feeds are #2/0 aluminum wire properly connected. Aluminum wiring connections should be inspected by a licensed electrician every 3-5 years.

5. Breakers

Good	Fair	Poor	N/A	None
	X			

Materials: Copper non-metallic sheathed cable noted.

Observations:

- All of the circuit breakers appeared serviceable.



The breaker with the arrow pointing to it has thrown with an arc fault, I cannot reset or test while inspecting as there may be a safety reason it is thrown. I would recommend speaking with the current home owner and asking him to reset it. Should it throw again a licensed electrician should be consulted for further evaluation.

6. Fuses

Good	Fair	Poor	N/A	None
			X	

Observations:  
 • No fuses noted.

SAMPLE REPORT

Roof

1. Roof Condition

Good	Fair	Poor	N/A	None
X				

Materials: Roof was visually inspected from accessible points on the interior and/or exterior. As well the entire roof was closely inspected with a drone and appeared functioning as intended at the time of this inspection.

Materials: Asphalt shingles noted.

Observations:

- No major system safety or function concerns noted at time of inspection.
- The hip above the garage is wavy as it rises towards the ridge. It is the inspectors opinion that this is primarily due to poor instalation of the ridge caps and poor framing / blocking beneath. I do not believe this is a safety issue, I would recommend monitoring this area moving forward.



Aerial shot of roof



Covered valley on roof properly over lapped.



Ridge Caps on hip



Ridge caps on hip



Aerial of hip and shingles on roof



Roof valley and ridge, this ridge is wavy.



This roof hip is wavy in appearance.

### 2. Flashing

Good	Fair	Poor	N/A	None
X				

Observations:  
 • No issues or concerns noted.

### 3. Chimney

Good	Fair	Poor	N/A	None
			X	

Observations:  
 • No chimney noted on the house. There is a metal flue for the gas fireplace that was inspected and appeared to be functioning as intended at the time of this inspection.

### 4. Sky Lights

Good	Fair	Poor	N/A	None
				X

Observations:  
 • No skylights.

### 5. Spark Arrestor

Good	Fair	Poor	N/A	None
			X	

Observations:  
 • N/A

### 6. Vent Caps

Good	Fair	Poor	N/A	None
X				

Observations:  
 • The vent caps were inspected with drone and all appeared in satisfactory condition.



Attic turtle vent properly installed.



Turtle vent caps properly installed.

### 7. Gutter

Good	Fair	Poor	N/A	None
X				

Observations:  
 • No major system safety or function concerns noted at time of inspection.



The gutters on the structure are in excellent shape and functioning as intended.

SAMPLE REPORT

Attic

1. Access

Good	Fair	Poor	N/A	None
	X			

Observations:

- Scuttle Hole located in: laundry room. There are OSB pieces framed above the scuttle hole that taper as they go up, they are unnecessarily high and make access very difficult, as well the taper makes getting the hatch open very difficult. I would recommend consulting a licensed contractor at some point in the future for further evaluation and corrective repair.

2. Structure

Good	Fair	Poor	N/A	None
	X			

Observations:

- Due to the framing design of this roof system we recommend limiting the number of roof layers to no more than one layer.
- Being an ex-framer I am not impressed with the craftsmanship concerning the framing and blocking in the attic. It is functioning as intended and I do not see any major issues at the time of this inspection. Only about 40% of the framing and trusses could be inspected as there was 12" of fill insulation that covered up possible routes to move around the attic.
- Could not access all areas of the attic due to limited space.
- Framing is poorly braced.
- Split/Broken framing boards observed.



There is some poor framing and cracked lumber used in the attic for the hip support



Poor framing practices, although this is not necessarily a structural issue it is just not good professional quality framing.

3. Ventilation

Good	Fair	Poor	N/A	None
X				

Observations:

- Ridge exhaust venting noted.
- Under eave soffit inlet vents noted.
- The ventilation was excellent in the attic.

4. Vent Screens

Good	Fair	Poor	N/A	None
X				

Observations:

- Vent screens noted as functional.

5. Duct Work

Good	Fair	Poor	N/A	None
X				

Observations:  
 • Functional.

6. Electrical

Good	Fair	Poor	N/A	None
X				

Observations:  
 • Most areas not accessible due to insulation.

7. Attic Plumbing

Good	Fair	Poor	N/A	None
X				

Observations:  
 • PVC plumbing vents

8. Insulation Condition

Good	Fair	Poor	N/A	None
X				

Materials: Loose fill insulation noted.  
 Depth: Insulation averages about 10-12 inches in depth except for over the garage, there is no blown in insulation covering this area. Added insulation over the garage would hold heat in the winter and keep cool in the summer. This is more of a luxury and not a deficiency.  
 Observations:  
 • Insulation appears adequate.

9. Chimney

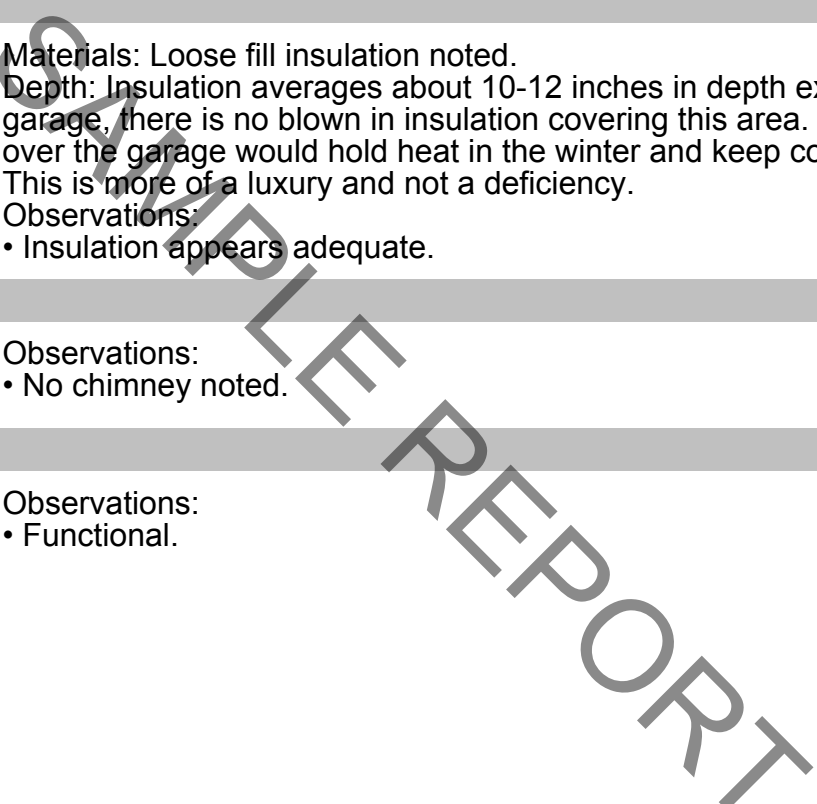
Good	Fair	Poor	N/A	None
			X	

Observations:  
 • No chimney noted.

10. Exhaust Vent

Good	Fair	Poor	N/A	None
X				

Observations:  
 • Functional.





Exterior Areas

1. Doors

Good	Fair	Poor	N/A	None
X				

Observations:

- Appeared in functional and in satisfactory condition, at time of inspection.
- Garage service door not tested due to storage blocking the door.

2. Window Condition

Good	Fair	Poor	N/A	None
X				

Observations:

- Components appeared in satisfactory condition at time of inspection. There are some minor / annual caulking needs around the windows when the weather becomes appropriate.

3. Siding Condition

Good	Fair	Poor	N/A	None
X				

Materials: Stucco veneer noted.

Observations:

- No major system safety or function concerns noted at time of inspection. Again there are some minor annual caulking needs around dissimilar material joints with the stucco. Intersections with trim and soffit are in need of routine maintenance caulking in several spots.. Please see paint section for pictures.

4. Eaves & Facia

Good	Fair	Poor	N/A	None
X				

Observations:

- Split Caulking and peeling paint noted.

5. Exterior Paint

Good	Fair	Poor	N/A	None
X				

Observations:

- Suggest caulking around doors and windows as necessary.
- All exterior painted wood trim surfaces should be annually examined and sealed, caulked and painted as needed.
- Split Caulking and peeling paint noted.
- Suggest sealing/caulking as part of routine maintenance to prevent further deterioration.
- Peeling paint observed, suggest scraping and painting as necessary.



Some paint and caulk routine maintenance is needed here.



I would recommend these areas between the trim / door jamb in this photo are kept caulked and sealed to prevent excessive moisture intrusion.



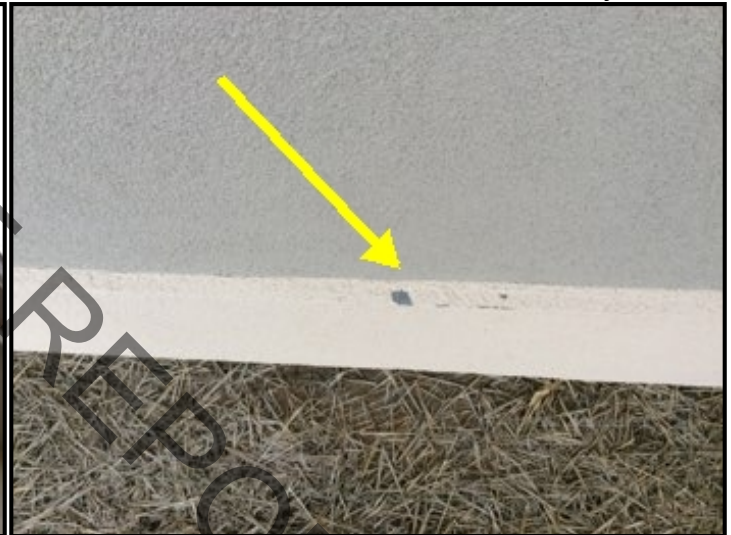
This area of Stucco at the front door appears to have been repaired improperly.



Again the joint between the stucco and trim should be caulked and maintained annually.



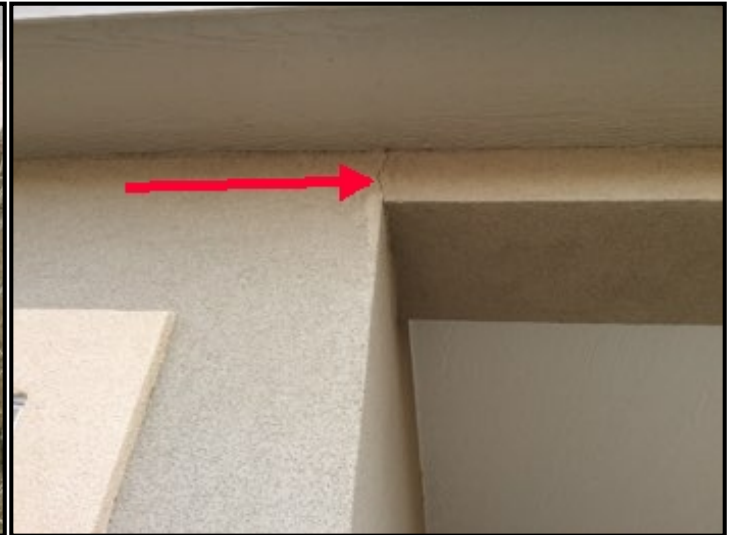
I would recommend keeping these soffit joints sealed / caulked.



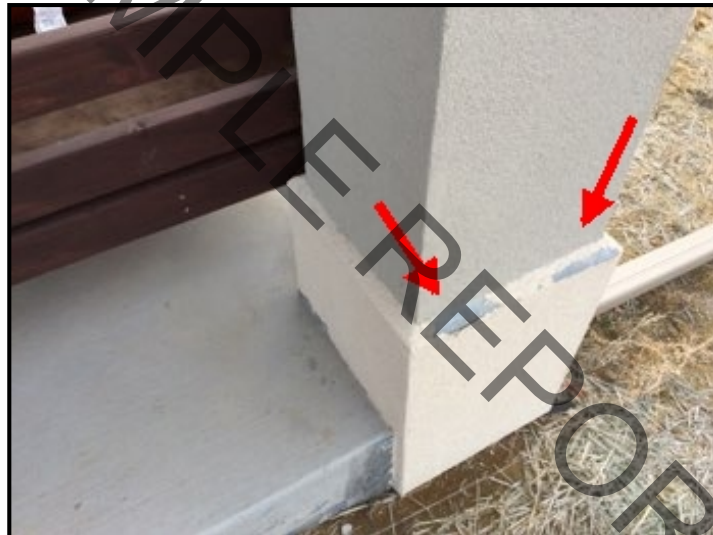
A little touch up paint would be a good idea here.



The sump pump drainage pipe needs resealed where it exits the house.



The stucco is slightly cracked here, more than likely this is a shrinkage crack when it was installed. Sealing this crack would be a good idea, internal moisture may worsen it over time.



I would recommend touching up the paint in areas like this.

6. Stucco

Good	Fair	Poor	N/A	None
X				

Observations:

- We recommend sealing holes & gaps in the stucco to keep water infiltration from causing damage.

Foundation

1. Slab Foundation

Good	Fair	Poor	N/A	None
			X	

Observations:  
 • No issues or concerns noted.

2. Foundation Perimeter

Good	Fair	Poor	N/A	None
X				

Observations:  
 • No deficiencies were observed at the visible portions of the structural components of the home.

3. Foundation Walls

Good	Fair	Poor	N/A	None
X				

Observations:  
 • No leaks were observed at the time of the inspection.  
 • No stains or evidence of moisture penetration observed.  
 • No deficiencies were observed at the visible portions of the structural components of the home.

4. Cripple Walls

Good	Fair	Poor	N/A	None
X				

Observations:  
 • Cripple walls for the first floor were inspected with no issues or concerns noted at the time of this inspection.

5. Ventilation

Good	Fair	Poor	N/A	None
X				

Observations:  
 • Screened openings noted.

6. Vent Screens

Good	Fair	Poor	N/A	None
X				

Observations:  
 • Vent screens noted as functional.

7. Access Panel

Good	Fair	Poor	N/A	None
			X	

Observations:  
 • No foundation access panel installed at the time of this inspection.

8. Post and Girders

Good	Fair	Poor	N/A	None
			X	

Observations:  
 • Support Material: Steel

9. Sub Flooring

Good	Fair	Poor	N/A	None
			X	

Observations:  
 • No sub flooring, slab floor noted.

10. Anchor Bolts

Good	Fair	Poor	N/A	None
			X	

Observations:  
 • The anchor bolts were not visible.

11. Foundation Electrical

Good	Fair	Poor	N/A	None
X				

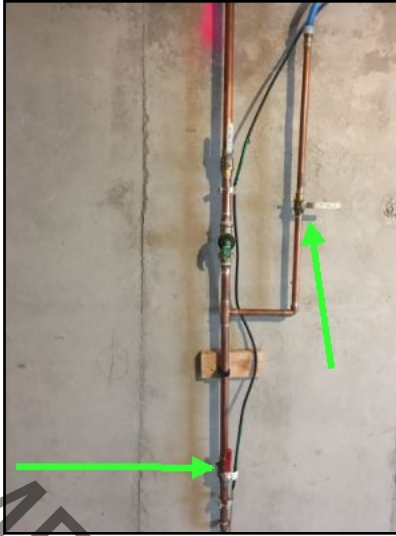
Observations:  
 • No issues or concerns noted at the time of this inspection.

### 12. Foundation Plumbing

Good	Fair	Poor	N/A	None
X				

**Observations:**

- 3/4 inch copper supply appeared adequate with no issues or concerns noted at the time of this inspection.



Water entrance showing the main shut off for the house as well as the shut off and winterization drain for the irrigation system.

### 13. Sump Pump

Good	Fair	Poor	N/A	None
X				

**Observations:**

- Evidence of one sump pump and basin installed in basement.
- Pump was activated at the time of inspection, we suggest you verify operation prior to close.

### 14. Ducting

Good	Fair	Poor	N/A	None
X				

**Observations:**

- No deficiencies were observed at the visible portions of the structural components of the home.

SAMPLE REPORT

Grounds

1. Driveway and Walkway Condition

Good	Fair	Poor	N/A	None
X				

Materials: Concrete driveway noted. • Concrete sidewalk noted.  
 Observations:  
 • Driveway in good shape for age and wear. No deficiencies noted.

2. Grading

Good	Fair	Poor	N/A	None
	X	X		

Observations:  
 • The exterior drainage is generally away from foundation -- except where noted below.  
 • Lot grading and drainage have a significant impact on the building, simply because of the direct and indirect damage that moisture can have on the foundation. It is very important, therefore, that surface runoff water be adequately diverted away from the home. Lot grading should slope away and fall a minimum of one (6) inches in the first (10) feet around the perimeter of the building.  
 • The meter pit in the front yard is poorly planned and a safety hazard. There are extensions manufactured for the meter pits that can be installed and bring the meter lid up to grade.



This area by the east gate is draining onto the stoop and will eventually cause problems here. Special attention should be taken when landscaping is complete to promote drainage away from the house but not over the concrete pad.



Special attention should be taken while finish grading the back yard, a small swale should be defined to help move water to the planned drainage points.



This area is slightly low and may hold water, when the landscaping is completed grading should promote a slope away from the foundation of 6" within the first 10'



This meter is a safety hazard and should be repaired by a professional contractor as soon as possible. The meter can be raised with a sleeve and dirt filled in around it, there is no reason to have a trip, fall hazard such as this.

3. Vegetation Observations

Good	Fair	Poor	N/A	None
X				

Observations:

- Backyard is not landscaped yet and will need finish grade to properly drain before ground covers and plantings are added.
- No major system safety or functional concerns noted at time of inspection.

4. Gate Condition

Good	Fair	Poor	N/A	None
	X			

Materials: Wood

Observations:

- Gate sticks.



This gate sticks slightly and can be adjusted for easier opening

5. Patio and Porch Deck

Good	Fair	Poor	N/A	None
	X			

Observations:

- Appeared functional at time of inspection.

**6. Stairs & Handrail**

Good	Fair	Poor	N/A	None
X				

Observations:  
 • Appeared functional at time of inspection.

**7. Grounds Electrical**

Good	Fair	Poor	N/A	None
X				

Observations:  
 • No major system safety or function concerns noted at time of inspection.

**8. GFCI**

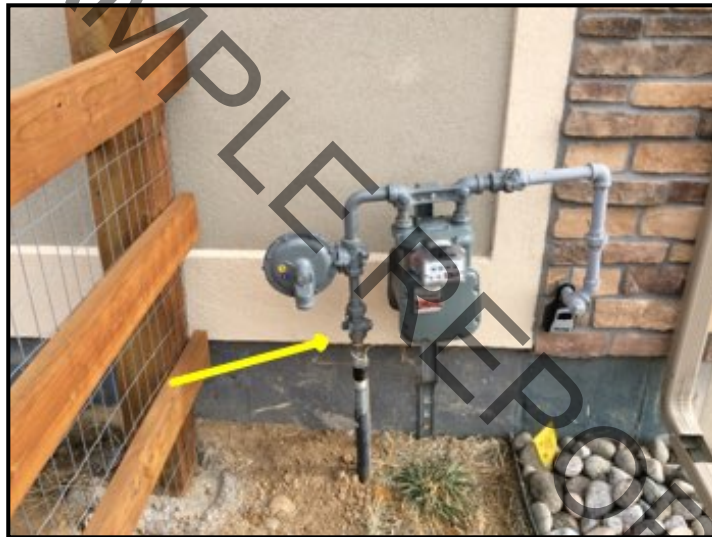
Good	Fair	Poor	N/A	None
X				

Observations:  
 • GFCI receptacles are in good condition.

**9. Main Gas Valve Condition**

Good	Fair	Poor	N/A	None
X				

Materials: West side.  
 Observations:  
 • Meter located at exterior. All gas appliances have cut-off valves in line at each unit. No gas odors detected.



The gas meter is on the west side and the main shut off for the house is located at the yellow arrow.

**10. Plumbing**

Good	Fair	Poor	N/A	None
X				

Materials: Copper piping noted.  
 Observations:  
 • Most n/a due to insulation covering the pipe.

**11. Water Pressure**

Good	Fair	Poor	N/A	None
	X			

Observations:  
 • 65

**12. Pressure Regulator**

Good	Fair	Poor	N/A	None
X				

Observations:  
 • None.



13. Exterior Faucet Condition

Good	Fair	Poor	N/A	None
X				

Location: East side of house. • West side of house.  
 Observations:  
 • Appears Functional.

14. Balcony

Good	Fair	Poor	N/A	None
			X	

Observations:  
 • Appears in satisfactory and functional condition with normal wear for its age. Appears to be sound structure.

15. Patio Enclosure

Good	Fair	Poor	N/A	None
X				

Observations:  
 • The back concrete patio is a 4" slab of concrete and appears to be functioning as intended at the time of this inspection, there is some concern with a crack around two sides of it as noted and pointed out in the pictures.  
 • Common cracks/Seal as needed. There are some small areas that could use caulking to seal up joints and seams.  
 • There is a synonymous crack around 2 sides of the back concrete patio that is of some concern. I would recommend a licensed contractor or engineer be consulted for further evaluation.



This joint could use a little caulking on the ceiling of the covered patio.



North side of the back patio. This crack is of some concern, a similar one is starting on the front concrete porch as well.



West side of the back concrete patio shows the same crack extending fully around two sides.

Continuation of the crack on the west side.

16. Patio and Porch Condition

Good	Fair	Poor	N/A	None
X				

Materials: Asphalt shingles noted.

Observations:

- No major system safety or function concerns noted at time of inspection.

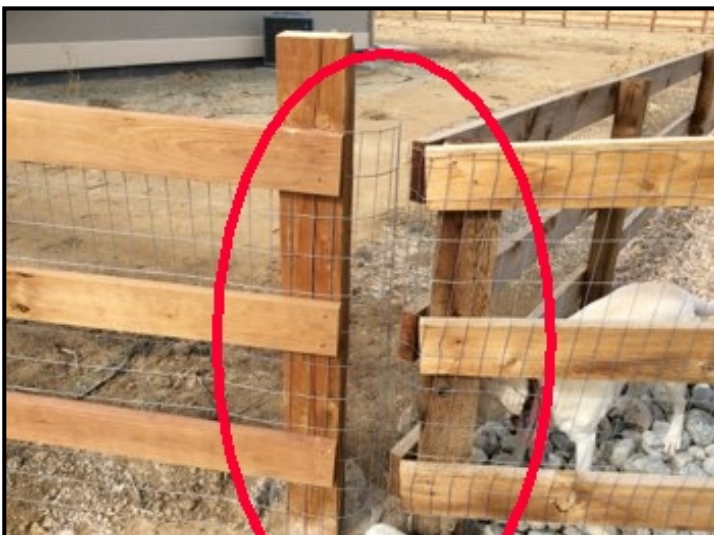
17. Fence Condition

Good	Fair	Poor	N/A	None
	X			

Materials: Wood

Observations:

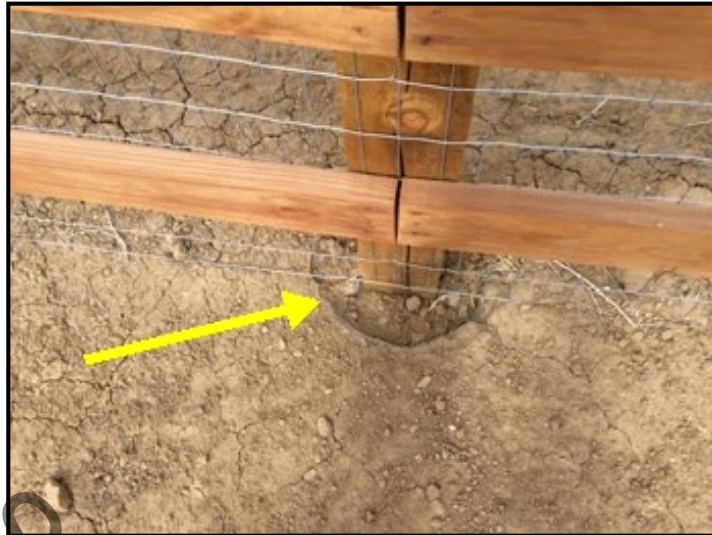
- Wood deterioration observed. Suggest repairs/replacement as needed.
- There are a few concerns to note with the fence. It is not completed correctly on the east side where it butts into the neighbor's fence. The gate post on the east gate is almost cracked all the way through. The concrete around several of the post has been poorly done. Best practice would be to bring the concrete to grade level and bevel it away from the post to keep water from sitting at the base, water held around the base of the post will accelerate rotting and deterioration of the post. There is almost a natural bowl to hold water around several of the post.



The fence is not properly tied into the neighbors corner.



This gate post on the east gate is almost cracked all the way through and should be replaced. It is also cracked on the other side.



The concrete around the post was not installed very well and creates a bowl to hold water. This will accelerate water damage / rot to the post.

18. Sprinklers

Good	Fair	Poor	N/A	None
	X			

Observations:

- Home is equipped with an underground sprinkler system. The inspector recommends client consult with home owner for operation instructions and proper winterizing information. Sprinkler systems are beyond the scope of a Home Inspection, due to most of its parts/piping not visible for inspection.
- Sprinkler system noted; client is advised to seek advice of a specialist in evaluating this system before use. The anti siphon valve in the picture has been repaired at least one time. The weather protective cap is missing off of it. I recommend client consult with the current home owner to see if this system was properly winterized in the fall.



The anti siphon valve has been repaired at least once in the past, and is currently missing the weather protective cap.

# Basement/Crawlspace

## 1. Walls

Good	Fair	Poor	N/A	None
X				

Materials: Basement noted. • Unfinished basement .

Observations:

- No deficiencies were observed at the visible portions of the structural components of the home.
- No leaks were observed at the time of the inspection.
- No stains or evidence of moisture penetration observed.

## 2. Insulation

Good	Fair	Poor	N/A	None
X				

## 3. Windows

Good	Fair	Poor	N/A	None
X				

Materials: Aluminum framed sliding window noted.

Observations:

- No issues or concerns noted at the time of this inspection.

## 4. Plumbing Materials

Good	Fair	Poor	N/A	None
X				

Materials: Appears Functional.

Observations:

- Copper
- Pex
- PVC

## 5. Basement Electric

Good	Fair	Poor	N/A	None
X				

Observations:

- The electrical was inspected with no issues or concerns noted.

## 6. GFCI

Good	Fair	Poor	N/A	None
X				

Observations:

- Test GFCIs monthly to ensure proper operation.

## 7. Access

Good	Fair	Poor	N/A	None
X				

Materials: Interior stairway noted.

Observations:

- Interior entrance is in serviceable condition.

## 8. Stairs

Good	Fair	Poor	N/A	None
X				

Observations:

- The stairs were inspected with no issues noted.

## 9. Railings

Good	Fair	Poor	N/A	None
X				

Observations:

- Hand/Guardrail appeared to be functioning as intended at the time of this inspection.

## 10. Slab Floor

Good	Fair	Poor	N/A	None
X				

Observations:

- Basement floor appears in good condition with no issues or concerns noted at the time of this inspection.

**11. Finished Floor**

Good	Fair	Poor	N/A	None
			X	

Observations:  
 • N/A the floors were not finished in the basement.

**12. Drainage**

Good	Fair	Poor	N/A	None
X				

Observations:  
 • The home has an interior drainage system. It is advised to obtain documentation and warranty information from current owner.

**13. Sump Pump**

Good	Fair	Poor	N/A	None
X				

Observations:  
 • Sump discharges thru exterior wall next to structure.

**14. Framing**

Good	Fair	Poor	N/A	None
X				

Observations:  
 • **\*\*JOISTS\*\***

**15. Subfloor**

Good	Fair	Poor	N/A	None
X				

Observations:  
 • No Sub-Floor this house has a slab foundation floor.

**16. Columns**

Good	Fair	Poor	N/A	None
X				

Observations:  
 • No deficiencies were observed at the visible portions of the structural components of the home.

**17. Piers**

Good	Fair	Poor	N/A	None
X				

Observations:  
 • No deficiencies were observed at the visible portions of the structural components of the home.

**18. Basement/Crawlspace Ductwork**

Good	Fair	Poor	N/A	None
X				

Observations:  
 • Homes heating and cooling duct system appeared functioning as intended at the time of this inspection.

# Floors

## 1. Type

Good	Fair	Poor	N/A	None
	X			

**Observations:**

- Engineered wood floors were observed on the main level kitchen, dining room, living room, entry way areas
- Carpeting was observed in the bedrooms and connecting hall.

## 2. Condition

Good	Fair	Poor	N/A	None
		X		

**Observations:**

- Engineered wood floors are installed in the home with a few concerns on the installation. There are a few gaps in the floor and in these spots the floor has flex / bounce to it. I would recommend consulting with a licensed contractor for further evaluation and repair.

SAMPLE REPORT

## Glossary

Term	Definition
GFCI	A special device that is intended for the protection of personnel by de-energizing a circuit, capable of opening the circuit when even a small amount of current is flowing through the grounding system.
PVC	Polyvinyl chloride, which is used in the manufacture of white plastic pipe typically used for water supply lines.

SAMPLE REPORT